

ORDINANCE NO. \_\_\_\_\_

**ORDINANCE APPROVING A PLANNED UNIT DEVELOPMENT AS ALLOWED BY  
SANTA CRUZ COUNTY CODE RELATING TO ESTABLISHMENT OF  
DEVELOPMENT STANDARDS FOR APNS: 029-391-01, -02, -03, AND 029-061-19**

The Board of Supervisors of the County of Santa Cruz ordains as follows:

**SECTION I**

The Board of Supervisors hereby approves a Planned Unit Development for the property located at 2450 Mattison Lane, in the Live Oak Planning Area, identified as Assessor's Parcel Numbers 029-391-01, 029-391-02, 029-391-03, and 029-061-19, subject to the Planned Unit Development Permit Conditions of Approval attached hereto and further reflected in the map embedded therein.

**SECTION II**

The Board of Supervisors hereby adopts the recommendations of the Planning Commission for the Planned Unit Development identified in Section I, and adopts the following findings in support thereof as set forth below:

1. That the residential development contributes to the ongoing desirability and character of the surrounding neighborhood;
2. That the combination of different dwelling and/or structure types and the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses, structures, and the natural environment in the vicinity;
3. That the permitted departures from the otherwise required development standards will provide specific benefits to the neighborhood and/or the community in which the planned unit development is located, and that such benefits include a voluntary dedication of APN No. 029-061-19 as a pedestrian and bicycle easement, and more attainable housing costs for the community by allowing a clustered townhome style design which both minimizes environmental impacts and supports a higher density on the project site including four affordable units, and the conditions required to achieve these benefits are incorporated into the project and made conditions of approval; and
4. That the proposed development is consistent with the General Plan/Local Coastal Program Land Use Plan.

**SECTION III**

The Board of Supervisors hereby adopts the recommendations of the Planning Commission for the Development Permit associated with the Planned Unit Development identified in Section I, and adopts findings in support thereof as set forth below:

1. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public and will not be materially injurious to properties or improvements in the vicinity.

2. The proposed location of the project and the conditions under which it would be developed, operated, or maintained will be in substantial conformance with the intent and requirements of all pertinent County ordinances and the purpose of the zone district in which the site is located.
3. The proposed project is in substantial conformance with the intent, goals, objectives, and policies of all elements of the County General Plan and any specific plan which has been adopted for the area.
4. The proposed project complies with the requirements of the California Environmental Quality Act (CEQA) and any significant adverse impacts on the natural environment will be mitigated pursuant to CEQA.
5. The proposed use will not overload utilities, result in inefficient or wasteful use of energy, or generate more than the acceptable level of traffic on the streets in the vicinity.
6. The proposed use will be compatible with the existing and proposed land uses, land use intensities, and dwelling unit densities of the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.
7. The proposed development is designed and located on the site so that it will complement and harmonize with the physical design aspects of existing and proposed development in the neighborhood, as designated by the General Plan and Local Coastal Program and implementing ordinances.
8. The proposed development is in substantial conformance with applicable principles in the adopted Countywide Design Guidelines, except as prohibited by site constraints, and any other applicable requirements of SCCC 13.11 (Site Development and Design Review).

#### **SECTION IV**

All zoning, site, architectural, and landscape design review provisions of this Ordinance that allow modifications from SCCC 13.10 or 13.11 shall expire on March 28<sup>th</sup>, 2035 unless development has commenced.

#### **SECTION V**

This ordinance shall become effective 31 days after adoption.

PASSED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_ by the Board of Supervisors of the County of Santa Cruz by the following vote:

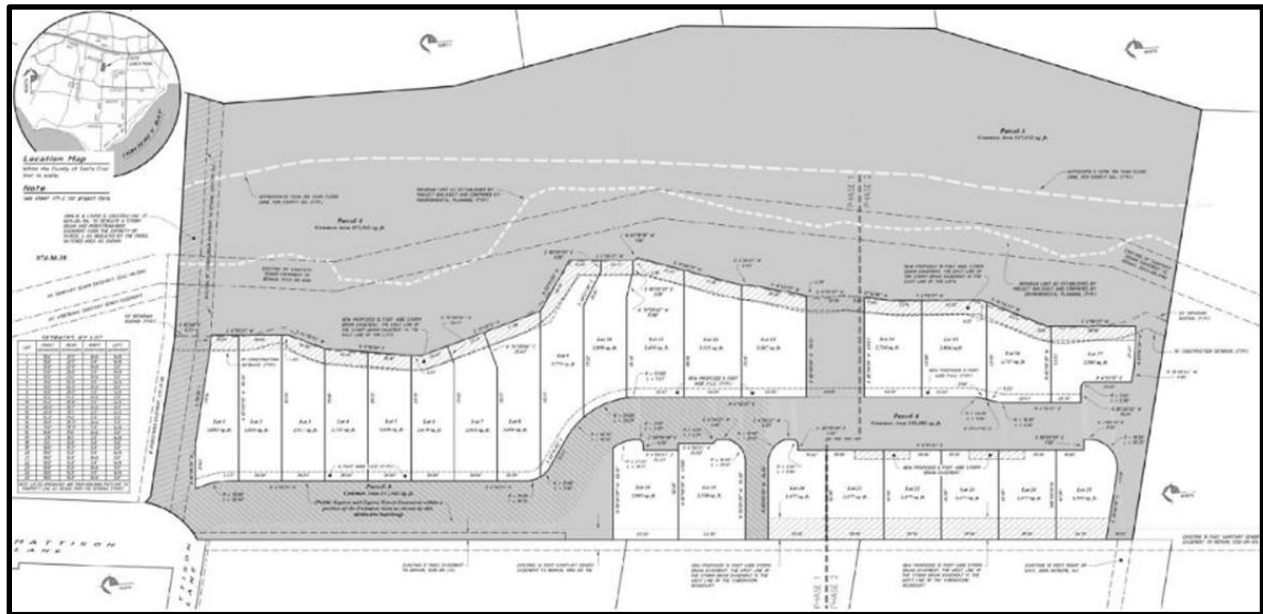
AYES:           SUPERVISORS  
NOES:           SUPERVISORS  
ABSENT:       SUPERVISORS  
ABSTAIN:       SUPERVISORS

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Chair of the Board of Supervisors

Attest: \_\_\_\_\_  
Clerk of the Board

**EXHIBIT:**               Planned Unit Development Permit  
Conditions of Approval





## **Planned Unit Development Permit Conditions of Approval**

*Property located at 2450 Mattison Lane, in the Live Oak Planning Area.*

APNs: 029-391-01, -02, -03, 029-061-19

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### **Planned Unit Development 221077**

Applicant: Swift Consulting Service

Property Owner(s): Claudio Locatelli

Assessor's Parcel Numbers: 029-391-01, 029-391-02, 029-391-03, 029-061-19

Property Address and Location: Property located on the south side of Mattison Lane at 2450  
Mattison Lane in Live Oak

Planning Area: Live Oak

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Exhibit E: Tentative Map, prepared by Hanagan Land Surveying;  
Preliminary Improvement Plans, prepared by Ifland Engineers;  
Architectural Plans, prepared by Thatcher & Thompson Architects;  
Landscape Plans, prepared by Gregory Lewis Landscape Architect.

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- I. This permit authorizes the construction of a residential Planned Unit Development and Subdivision (for 25 residential units) as indicated on the approved Exhibit "E" for this permit and as modified by these conditions of approval.
- II. Subdivision and Planned Unit Development
  - A. This subdivision and residential development, and all improvements associated with this project, shall be subject to the requirements of the Subdivision conditions of approval (under separate heading) and the Planned Unit Development conditions of approval for this project.
- III. Maximum Residential Density
  - A. A maximum of twenty-five (25) single family residential units are authorized by this permit, except as specified below.
    1. The locations of the residential units and the allocation of the residential building sites on the subject property shall be consistent with the approved Exhibit "E" for this permit, and the Planned Unit Development conditions of approval.

- B. The minimum parcel size for each residential building parcel (Lots 1 through 25) shall be as indicated on the approved Exhibit "E" for this permit. This will result in individual building sites that are reduced below the 6,000 square foot minimum specified in the R-1-6 zone district. The remaining common area parcel is not a building site. No additional building sites (beyond what is indicated on the approved Exhibit "E" for this permit) shall be created.
- C. Minimum parcel sizes as indicated on the approved Exhibit "E":

Lot 1	2,652 square feet
Lot 2	3,032 square feet
Lot 3	2,917 square feet
Lot 4	2,720 square feet
Lot 5	2,650 square feet
Lot 6	2,670 square feet
Lot 7	2,934 square feet
Lot 8	3,494 square feet
Lot 9	3,773 square feet
Lot 10	2,858 square feet
Lot 11	3,654 square feet
Lot 12	3,325 square feet
Lot 13	3,343 square feet

Lot 14	2,709 square feet
Lot 15	3,035 square feet
Lot 16	2,748 square feet
Lot 17	2,555 square feet
Lot 18	2,958 square feet
Lot 19	3,166 square feet
Lot 20	2,628 square feet
Lot 21	2,470 square feet
Lot 22	2,477 square feet
Lot 23	2,477 square feet
Lot 24	2,477 square feet
Lot 25	2,681 square feet

#### IV. Site Standards

- A. Unless specifically defined below, construction must meet all required development standards in the County Code at the time of Building Permit submittal. All of the site standards contained within Chapter 13.10 applicable to zone districts of the properties shall be applicable unless modified by this Planned Unit Development. The following development standards supersede the development standards in the County Code.
1. **Setbacks:** Minimum setback requirements for structures are reduced as indicated in the approved Exhibit "E" for this permit. The indicated structure footprints define the approved building envelopes for construction of structures.

Lot 1	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15.4 feet 0 feet and 0 feet 37.4 feet
Lot 2	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 5 feet and 0 feet 37.1 feet
Lot 3	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 0 feet and 5 feet 27.9 feet

Lot 4	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 5 feet and 0 feet 26.6 feet
Lot 5	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 0 feet and 5 feet 23.2 feet
Lot 6	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 5 feet and 0 feet 22.3 feet
Lot 7	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15 feet 0 feet and 5 feet 34.5 feet
Lot 8	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	12.8 feet 5 feet and 0 feet 39.9 feet
Lot 9	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	15.5 feet 0 feet and 5 feet 14.4 feet
Lot 10	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	14.6 feet 5 feet and 0 feet 32.8 feet
Lot 11	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	29 feet 0 feet and 5 feet 18.7 feet
Lot 12	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	22 feet 5 feet and 0 feet 17.1 feet
Lot 13	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	14 feet 5 feet and 5 feet 17.6 feet
Lot 14	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 0 feet and 5 feet 20.3 feet
Lot 15	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	11 feet 5 feet and 0 feet 20.3 feet
Lot 16	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10.8 feet 0 feet and 5 feet 11.8 feet
Lot 17	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	2.9 feet 2.5 feet and 0 feet 13.1 feet
Lot 18	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	9.6 feet 5 feet and 5 feet 15 feet

Lot 19	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 5 feet and 5 feet 19.7 feet
Lot 20	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 5 feet and 0 feet 15 feet
Lot 21	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 0 feet and 5 feet 15 feet
Lot 22	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 5 feet and 0 feet 15 feet
Lot 23	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 0 feet and 5 feet 15 feet
Lot 24	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 5 feet and 0 feet 15 feet
Lot 25	Minimum front yard setback: Minimum side yard setback: Minimum rear yard setback:	10 feet 0 feet and 5 feet 15 feet

**B. All Lots**

1. Eaves and fireplaces may project into required minimum yards by no more than 3 feet. Eaves shall not extend into vehicular rights of way.
2. A maximum of one small non-habitable storage building/shed is allowed on each building parcel (Lots 1 through 25) indicated on the approved Exhibit "E" for the permit. The small storage building/shed shall be limited to no more than 120 square feet in floor area and no higher than 10 feet in height. The storage building/shed shall be located in the rear yard and set back a minimum of three feet from side and rear property lines. The storage building/shed shall not be located on any rain garden utilized for stormwater detention. No other accessory structures/buildings are allowed.
3. Fencing shall not exceed 3 feet in height within the required front yard of each residential building parcel (Lots 1 through 25).

**C. Lot Coverage:** Maximum lot coverage for structures is allowed as indicated in the approved Exhibit "E" for this permit.

Lot 1	37%
Lot 2	37.6%
Lot 3	39.2%
Lot 4	42%
Lot 5	43.1%
Lot 6	42.3%
Lot 7	38.9%
Lot 8	32.7%
Lot 9	30.3%

Lot 14	47.7%
Lot 15	35.4%
Lot 16	35.4%
Lot 17	39.6%
Lot 18	42.8%
Lot 19	37.5%
Lot 20	38.2%
Lot 21	39.8%
Lot 22	39.8%

Lot 10	39.9%
Lot 11	36.7%
Lot 12	40.4%
Lot 13	44.6%

Lot 23	39.8%
Lot 24	39.8%
Lot 25	38.6%

- D. Floor Area Ratio: Maximum Floor Area Ratio for structures is allowed as indicated in the approved Exhibit “E” for this permit.

Lot 1	.61
Lot 2	.62
Lot 3	.64
Lot 4	.69
Lot 5	.71
Lot 6	.70
Lot 7	.64
Lot 8	.53
Lot 9	.50
Lot 10	.66
Lot 11	.59
Lot 12	.65
Lot 13	.72

Lot 14	.77
Lot 15	.64
Lot 16	.64
Lot 17	.67
Lot 18	.74
Lot 19	.64
Lot 20	.65
Lot 21	.68
Lot 22	.68
Lot 23	.68
Lot 24	.68
Lot 25	.66

- E. Height and Number of Stories: Maximum height for structures shall not exceed 28 feet and no more than two stories are allowed.

## V. Design

- A. Structure design, location, and construction shall conform to the approved Exhibit “E” for this permit. Any changes to structure design that increase or otherwise expand the structure so that it would not be in compliance with the standards specified in the approved Exhibit “E” for this permit and these Planned Unit Development conditions is not allowed.

## VI. Amendments

- A. During the Final Map recordation phase, or the initial buildout of the subdivision, adjustments to standards authorized by this Planned Unit Development that are needed to reflect real-world conditions may be authorized by Planning staff as a Minor Variation/Map Correction. Any such changes shall be in substantial conformance with the approved Planned Unit Development standards and shall be noted on a Certificate of Correction filed with the County Surveyor.
- B. Future amendments or changes to the approved project, including structure design, structure locations, and associated infrastructure shall be processed per the levels of review specified in Chapter 18.10 of the County Code or its successor ordinance, unless otherwise specified by these Planned Unit Development conditions of approval.

1. Future façade changes and/or modifications to the design for the residential structures, that are in compliance with the standards specified in the approved Exhibit “E” for this permit and these Planned Unit Development conditions (and other applicable standards of the zone district), shall be allowed.
- C. Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code or its successor ordinance.

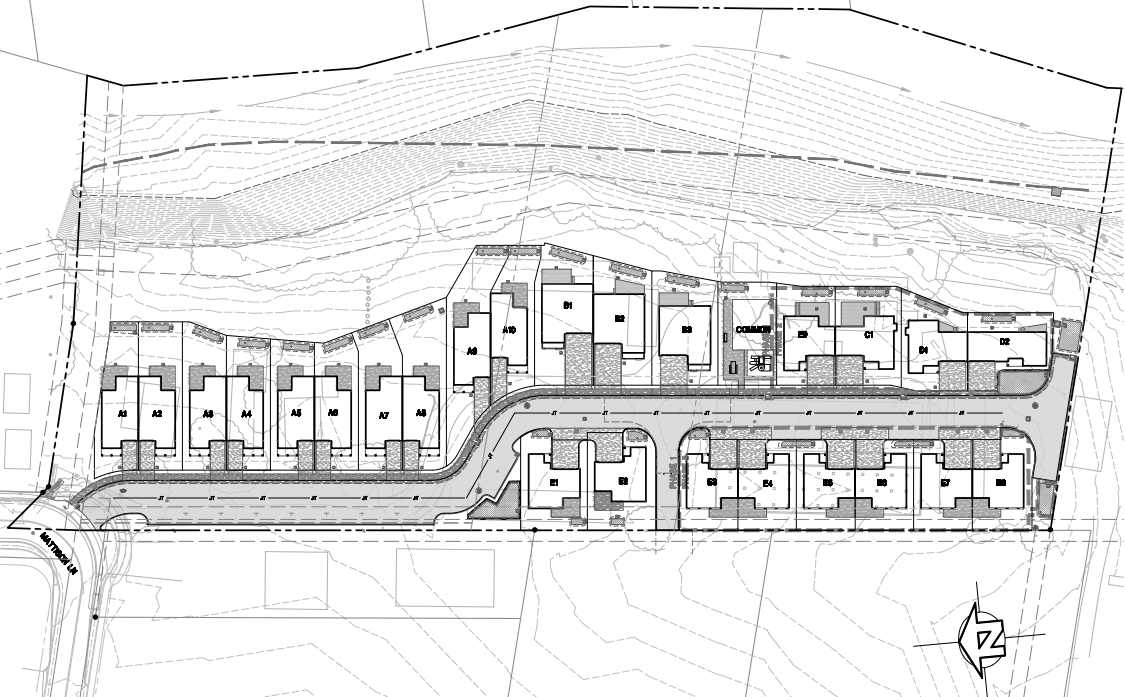
PRELIMINARY IMPROVEMENT PLANS  
FOR  
LOCATELLI SUBDIVISION  
MATTISON LANE  
SANTA CRUZ COUNTY, CALIFORNIA

ABBREVIATIONS

AB	AGGREGATE BASE	JB	JUNCTION BOX
ABV	AIR-RELEASE VALVE	JT	JOINT TRENCH
BFP	BACKFLOW PREVENTER	LF	LINEAR FOOT
BO	BLOW-OFF VALVE	LP	LIP OF GUTTER
BRW	BOTTOM OF RETAINING WALL	LOG	LIMIT OF GRADING
BSW	BACK OF SIDEWALK	LP	LOW POINT
BVC	BEGIN VERTICAL CURVE	MFS	MECHANICAL FILTRATION SYSTEM
BW	BOTTOM OF WALL	MH	MANHOLE
CB	CATCH BASIN	N	NORTH
CI	CURB INLET	(N)	NORTH
CP	CAST IRON PIPE	NE	NORTHEAST
CL	CENTERLINE	NW	NORTHWEST
CM	CORROGATED METAL PIPE	OCB	OUTLET CONTROL BOX
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CO	CLEANOUT	PCC	PORTLAND CEMENT CONCRETE
CSM	COMMERCIAL CONCRETE	PE	POLYETHYLENE
CONC	CONCRETE	PL	PROPERTY LINE
COTG	CLEANOUT TO GRADE	PRC	POINT OF REVERSE CURVE
CIP	DUCTILE IRON PIPE	PV	POST-INDICATOR VALVE
DOM	DOMESTIC	PV	PAVEMENT
DTL	DETAIL	PVC	POLYVINYL CHLORIDE PIPE
DWG	DRAWING	R	RADIUS
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
E	EAST	ROW	RIGHT-OF-WAY
EG	EXISTING GROUND	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
EP	EDGE OF PAVEMENT	RW	RECYCLED WATER
(E)	EXISTING	SCM	STORM DRAIN
EX	EXISTING	SE	SOUTHEAST
FC	FACE OF CURB	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SE	SOUTHEAST
FG	FINISH GRADE	SDMH	STORM DRAIN MANHOLE
FF	FINISH FLOOR	SS	SANITARY SEWER
PH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOWLINE	STA	STATION
FNC	FENCE	STD	STANDARD
FO	FIBER OPTIC	SW	SIDEWALK, SOUTHWEST
FT	FOOT/FEET	T	TELEPHONE
FW	FIRE WATER	TC	TOP OF CURB
G	GAS	TRM	TRANSFORMER
GAR	GARAGE	TOW	TOP OF RETAINING WALL
GB	GRADE BREAK	TW	TOP OF WALL
HT	HEIGHT	USA	UNDERGROUND SERVICE ALERT
HDP	HIGH-DENSITY POLYETHYLENE	VG	VALLEY GUTTER
HP	HIGH POINT	W	WEST
INT	INTERSECTION	WM	WATER METER
INV	INVERT	WV	WATER VALVE
IRR	IRRIGATION		

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	AIR RELEASE VALVE	
	BLOW-OFF VALVE	
	CATCH BASIN	
	CURB INLET	
	CLEANOUT STRUCTURE	
	FIRE HYDRANT	
	GULLY ANCHOR	
	MANHOLE STRUCTURE	
	WATER METER	
	WATER VALVE	
	ELECTRICAL LINE	
	FIBER OPTIC LINE	
	FIRE WATER LINE	
	GAS LINE	
	IRRIGATION LINE	
	JOINT TRENCH LINE	
	OVERHEAD LINE	
	RECYCLED WATER LINE	
	STORM DRAIN LINE	
	SANITARY SEWER LINE	
	TELEPHONE LINE	
	CABLE TV LINE	
	WATER LINE	



PLAN VIEW

1"=40'

BENCHMARK

BENCHMARK FOR THIS SURVEY IS COUNTY BENCHMARK NO. 428, A BRASS DISC ON TOP OF EAST CURB OF 17TH AVENUE, 13.5 FEET SOUTH OF THE CENTERLINE OF MATTISON LANE  
ELEVATION= 98.84 FEET     DATUM: NAVD 88

BASIS OF BEARINGS

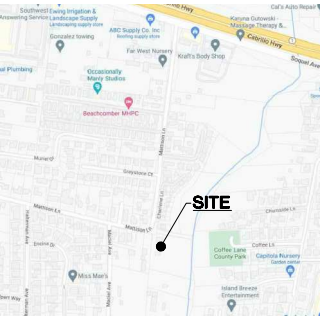
BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS ON THE EAST LINE OF PARCEL B, VOLUME 074 OF MAPS, PAGE 38, SANTA CRUZ COUNTY RECORDS, AND AS SHOWN HEREON  
BEARING= N 0°45'00" E

FIRE NOTES

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019) AND CENTRAL FIRE DISTRICT AMENDMENTS.

SEE SHEET CS-0 FOR EXISTING NEAR BY FIRE HYDRANT(S) LOCATION AND FLOW RATE INFORMATION.

PROJECT ROADS, TURNAROUNDS, FIRE LAMES, AND FIRE LANE SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF THE COUNTY OF SANTA CRUZ AND THE CENTRAL FIRE DISTRICT ORDINANCE/STANDARDS.



VICINITY MAP

N.T.S.

INDEX OF SHEETS

SHEET NO. DESCRIPTION

SHEET NO.	DESCRIPTION
C1.0	PRELIMINARY COVER SHEET, ABBREVIATIONS & LEGEND
C2.0	PRELIMINARY EXISTING CONDITIONS PLAN
C3.0	PRELIMINARY GRADING & DRAINAGE PLAN (NORTH)
C3.1	PRELIMINARY GRADING & DRAINAGE PLAN (SOUTH)
C4.0	PRELIMINARY ROAD PLAN & PROFILE
C4.1	PRELIMINARY ROAD SECTION
C5.0	PRELIMINARY UTILITY PLAN (NORTH)
C5.1	PRELIMINARY UTILITY PLAN (SOUTH)
C6.0	PRELIMINARY STORMWATER CONTROL PLAN
C6.1	PRELIMINARY STORMWATER DETAILS

TENTATIVE MAP

TM-1	PRELIMINARY TENTATIVE SUBDIVISION MAP (NORTH)
TM-2	PRELIMINARY TENTATIVE SUBDIVISION MAP (SOUTH)

ARCHITECTURAL SHEETS

A1	SITE PLAN, PROJECT DATA
A2	UNIT A PLANS & ELEVATIONS
A3	UNIT B PLANS & ELEVATIONS
A4	UNIT C PLANS & ELEVATIONS
A5	UNIT D PLANS & ELEVATIONS
A6	UNIT E PLANS & ELEVATIONS
A7	UNIT A & D RENDERED ELEVATIONS
A8	COLOR BOARDS

LANDSCAPE SHEETS

L1	PLANTING PLAN (NORTH)
L2	PLANTING PLAN (SOUTH)
L3	FENCING PLAN (NORTH)
L4	FENCING PLAN (SOUTH)

NOT FOR CONSTRUCTION

6000 LOCATELLI AVE. SUITE 201  
SANTA CRUZ, CA 95060  
TEL: 831.438.9900  
WWW.IFLANDENGINEERS.COM  
CIVIL ENGINEERS - LAND PLANNERS - SURVEYORS



PRELIMINARY  
COVER SHEET, ABBREVIATIONS & LEGEND  
LOCATELLI SUBDIVISION  
MATTISON LANE, SANTA CRUZ COUNTY, CALIFORNIA

APN 029-391-01, 02, 03  
& APN 029-061-19  
DESIGN DEVELOPMENT PHASE  
DATE: 1/10/2023  
DRAWN: DD  
CHECKED: DD

SHEET  
C1.0

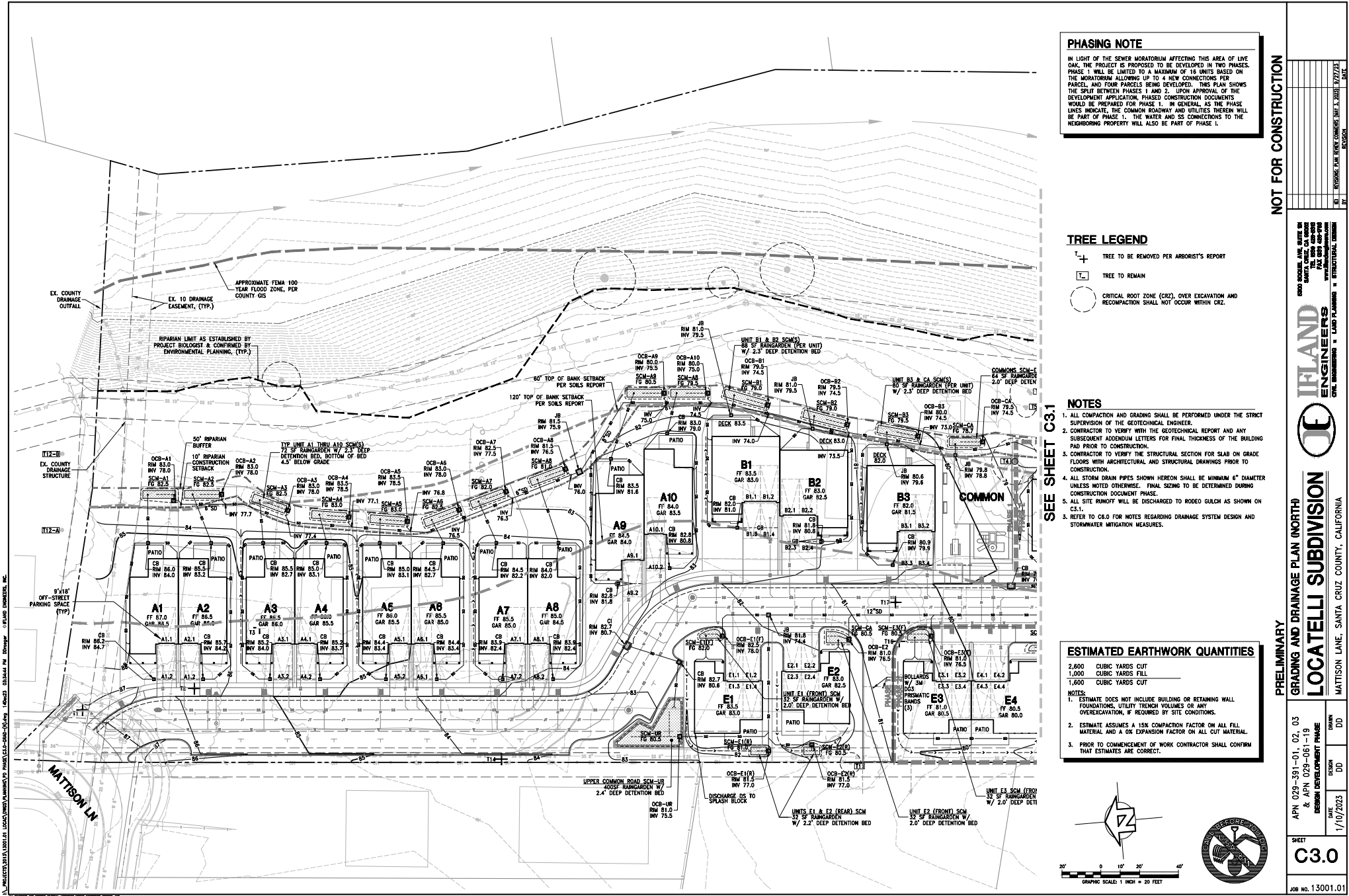
JOB NO. 13001.01



Exhibit E







**PHASING NOTE**

IN LIGHT OF THE SEWER MORATORIUM AFFECTING THIS AREA OF LIVE OAK, THE PROJECT IS PROPOSED TO BE DEVELOPED IN TWO PHASES. PHASE 1 WILL BE LIMITED TO A MAXIMUM OF 16 UNITS BASED ON THE MORATORIUM ALLOWING UP TO 4 NEW CONNECTIONS PER PARCEL, AND FOUR PARCELS BEING DEVELOPED. THIS PLAN SHOWS THE SPLIT BETWEEN PHASES 1 AND 2. UPON APPROVAL OF THE DEVELOPMENT APPLICATION, PHASED CONSTRUCTION DOCUMENTS WOULD BE PREPARED FOR PHASE 1. IN GENERAL, AS THE PHASE LINES INDICATE, THE COMMON ROADWAY AND UTILITIES THEREIN WILL BE PART OF PHASE 1. THE WATER AND SS CONNECTIONS TO THE NEIGHBORING PROPERTY WILL ALSO BE PART OF PHASE 1.

**TREE LEGEND**

☒ TREE TO BE REMOVED PER ARBORIST'S REPORT

☒ TREE TO REMAIN

○ CRITICAL ROOT ZONE (CRZ), OVER EXCAVATION AND RECOMPACTION SHALL NOT OCCUR WITHIN CRZ.

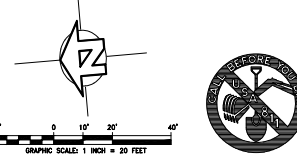
- NOTES**
1. ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
  2. CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
  4. ALL STORM DRAIN PIPES SHOWN HEREON SHALL BE MINIMUM 6" DIAMETER UNLESS NOTED OTHERWISE. FINAL SIZING TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE.
  5. ALL SITE RUNOFF WILL BE DISCHARGED TO RODEO GULCH AS SHOWN ON C3.1.
  6. REFER TO C6.0 FOR NOTES REGARDING DRAINAGE SYSTEM DESIGN AND STORMWATER MITIGATION MEASURES.

**ESTIMATED EARTHWORK QUANTITIES**

2,600	CUBIC YARDS CUT
1,000	CUBIC YARDS FILL
1,600	CUBIC YARDS CUT

**NOTES:**

1. ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.



NOT FOR CONSTRUCTION

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	11/10/2023	WJ

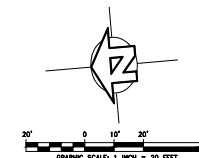
EXISTING LOCAL LANE, STATE OF CALIFORNIA, SANTA CRUZ COUNTY, CALIFORNIA  
DATE: 11/10/2023  
BY: WJ



**PRELIMINARY GRADING AND DRAINAGE PLAN (NORTH)**  
**LOCATELLI SUBDIVISION**  
MATTISON LANE, SANTA CRUZ COUNTY, CALIFORNIA

APN 029-391-01, 02, 03 & APN 029-061-19	DESIGN DEVELOPMENT PHASE	DRAWN	DD
DATE	1/10/2023	DESIGN	DD
SHEET	C3.0		
JOB NO.	13001.01		

Exhibit E



T<sub>+</sub> TREE TO BE REMOVED PER ARBORIST'S REPORT

T<sub>-</sub> TREE TO REMAIN

CRITICAL ROOT ZONE (CRZ), OVER EXCAVATION AND RECOMPACTION SHALL NOT OCCUR WITHIN CRZ.

1. ALL STORM DRAIN PIPES SHOWN HEREON SHALL BE MINIMUM 6" DIAMETER UNLESS NOTED OTHERWISE. FINAL SIZING TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE.
2. ALL SITE RUNOFF WILL BE DISCHARGED TO RODEO GULCH AS SHOWN HEREON.
3. REFER TO C&O FOR NOTES REGARDING DRAINAGE SYSTEM DESIGN AND STORMWATER MITIGATION MEASURES.
4. REFER TO C&O FOR GRADING QUANTITIES.

**IFLAND ENGINEERS**  
CIVIL ENGINEERING ■ LAND PLANNING ■ STRUCTURAL DESIGN

13000 ROCKLEE AVE. SUITE 301  
SAN ANTONIO, TX 78230  
TEL. 512/389-4339  
FAX 512/389-4740  
[www.iflandengineers.com](http://www.iflandengineers.com)

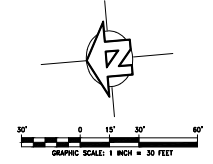
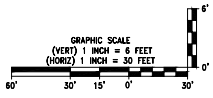
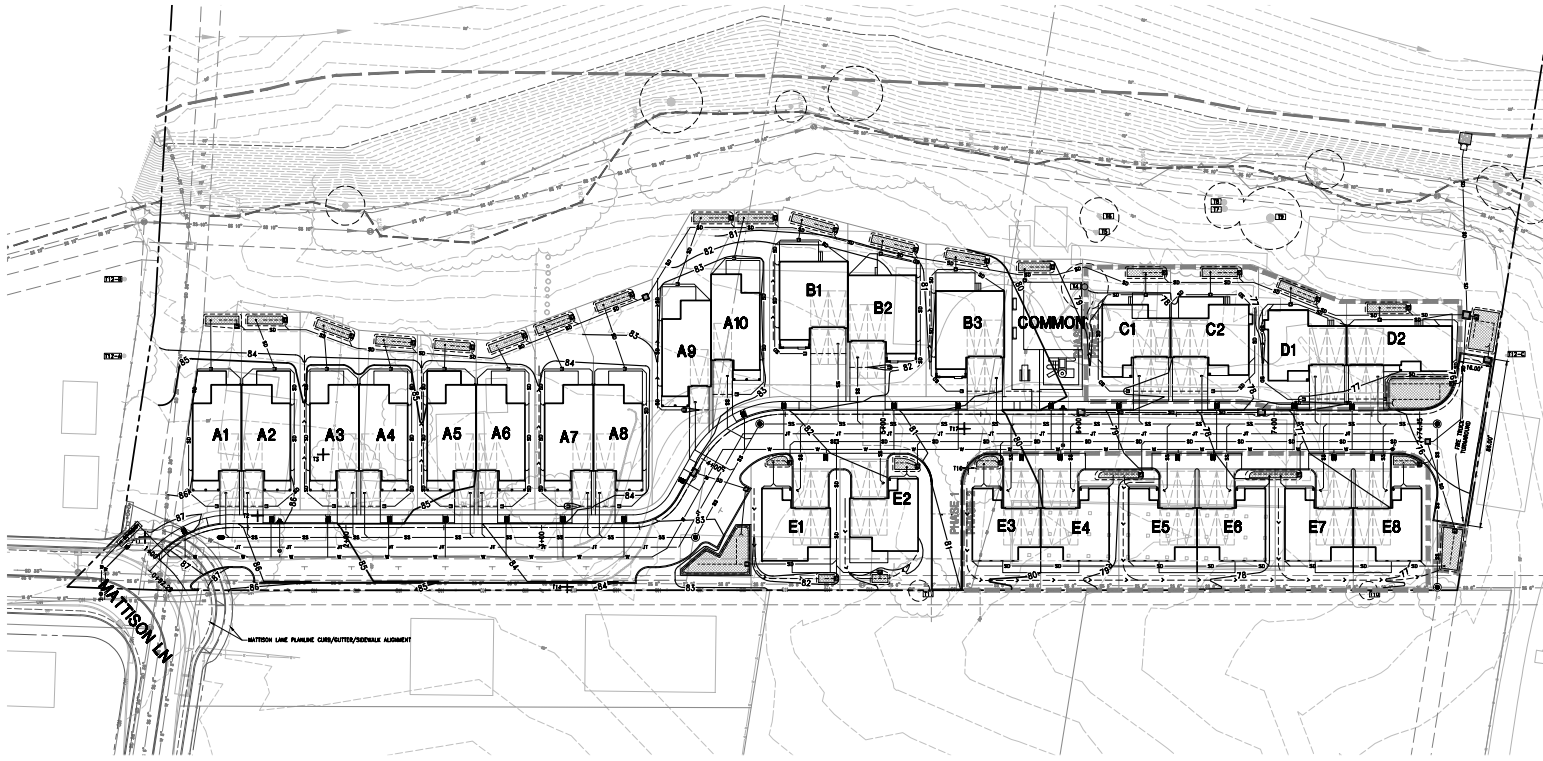
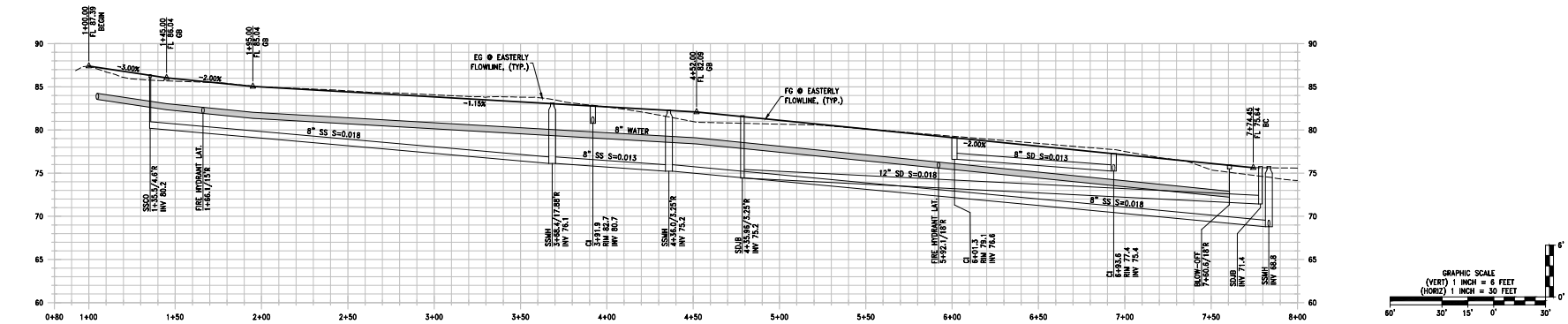
**PRELIMINARY  
GRADING AND DRAINAGE PLAN (SOUTH)  
LOCATELLI SUBDIVISION**

DATE	DESIGN	DRAWN
10/2/2023	DD	DD

SHEET  
**C3.1**  
JOB NO. 13001.0

## Exhibit E

\\P:\PROJECTS\2021\13001\_01 LOCATELLI SUBDIVISION\13001\_01 LOCATELLI SUBDIVISION\13001\_01 LOCATELLI SUBDIVISION.dwg 1/10/2023 10:30:21 AM Designer: J. P. LAND ENGINEERS, INC.



NOT FOR CONSTRUCTION

**PRELIMINARY**  
**ROAD PLAN & PROFILE**  
**LOCATELLI SUBDIVISION**  
MATTISON LANE, SANTA CRUZ COUNTY, CALIFORNIA

**JPLAND ENGINEERS**  
CIVIL ENGINEERING • LAND PLANNING • ARCHITECTURAL DESIGN

EXISTING SQUARE LANE, BAYVIEW IN SANTA CRUZ, CA 95060  
APN 029-061-01-19  
JPL 029-061-01-19  
www.jplandengineers.com

APN 029-391-01, 02, 03 & APN 029-061-19	DATE	DESIGN	DRAWN
DESIGN DEVELOPMENT PHASE	1/10/2023	DD	DD
SHEET			
<b>C4.0</b>			
JOB NO. 13001.01			

Exhibit E



SCALE: 1" = 4'



SCALE: 1" = 4'



SCALE: 1" = 4'



- GRAPHIC SCALE: 1 INCH = 4 FEET



SHEET  
**C4.1**  
JOB NO. 13001.01

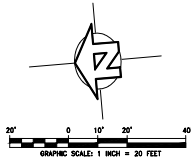
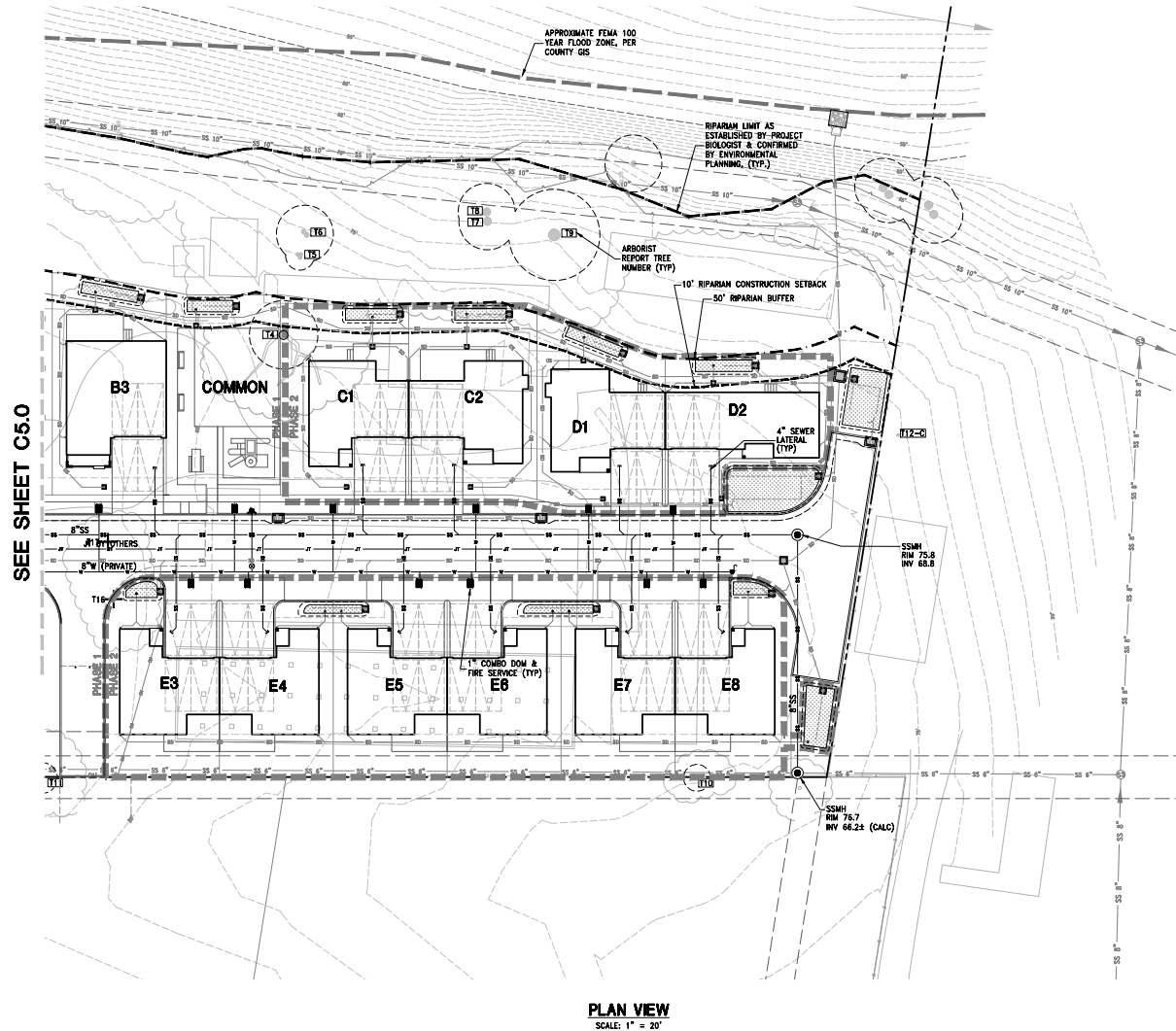
## Exhibit E





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100% 11/10/23 03:28:54 PM IFLAND ENGINEERS, INC.



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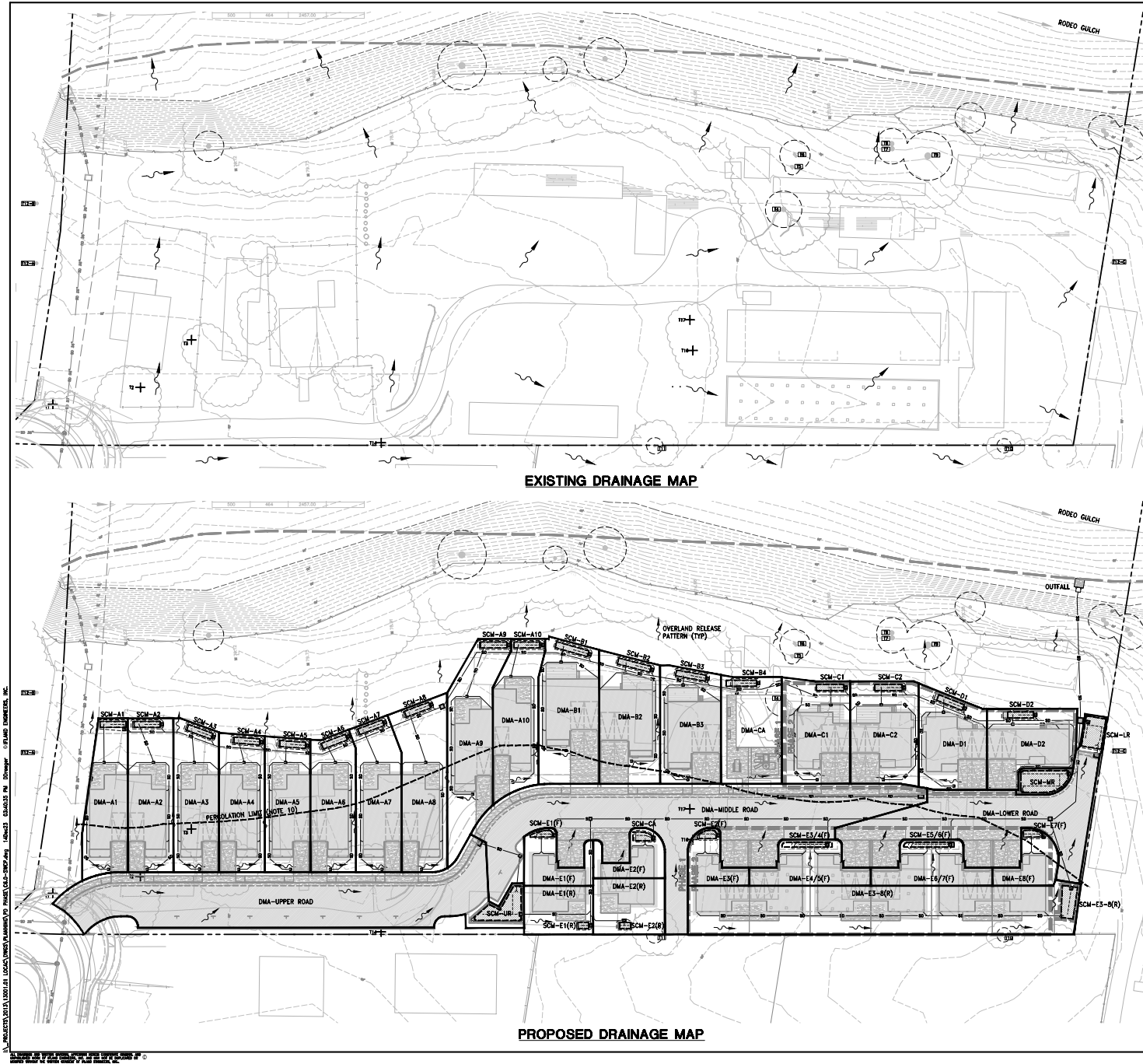
PRELIMINARY  
UTILITY PLAN (SOUTH)

**LOCATELLI SUBDIVISION**

**IFLAND ENGINEERS**  
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6300 BUCKLE LANE, SUITE 200  
SANTA CRUZ, CA 95061  
TEL: 831-438-7900  
WWW.IFLANDENGINEERS.COM

PROJECT	APN 023-391-01, 02, 03 & APN 029-061-19	DESIGN	DD	DRAWN	DD
SHEET	C5.1	DATE	1/10/2023	DESIGN DEVELOPMENT PHASE	
JOB NO.	13001.01				



- NOTES**
1. RUNOFF FROM UNIT ROOFS, DRIVEWAYS, AND PATIOS WILL BE MITIGATED VIA FRONT AND REAR YARD RAINGARDENS WITH BELOW GRADE DETENTION BEES.
  2. RUNOFF FROM THE UPPER ROAD (TO CURB WILEY NEAR UNIT A3) WILL BE MITIGATED VIA A RAINGARDEN WITH BELOW GRADE DETENTION BED LOCATED IN BETWEEN THE ROAD AND UNIT E1.
  3. RUNOFF FROM THE MIDDLE ROAD (FROM A5 TO D1) WILL BE MITIGATED VIA A RAINGARDEN WITH BELOW GRADE DETENTION LOCATED IN FRONT OF UNIT D2.
  4. RUNOFF FROM THE LOWER ROAD (FROM D1 TO THE SOUTH) WILL BE MITIGATED VIA A RAINGARDEN WITH BELOW GRADE DETENTION LOCATED NEXT TO UNIT D2 (TO ITS SOUTH).
  5. ALL SITE RUNOFF WILL BE DISCHARGED TO RODEO GULCH THROUGH AN ENERGY DISSIPATING OUTFALL ASSEMBLY AS SHOWN HEREON.
  6. PER SOILS REPORT, CONCENTRATED RUNOFF SHALL BE PERCOLATED AT LEAST 120 FEET FROM THE TOP OF RAINE OR DISCHARGED AT THE BASE OF SLOPE. ALL SCM'S ON DOWN-SLOPE SIDE OF RETENTION LIMIT LINE TO HAVE IMPERMEABLE LINER (TYPE A) AND ALL SCM'S ON UP-SLOPE SIDE TO HAVE OPEN BOTTOM (TYPE B).

**LEGEND**

ROOF AREA	ASPHALT CONCRETE AREA
CONCRETE AREA	DMA BOUNDARY
STORMWATER CONTROL MEASURE, DTL 1, C&I	OUTFALL
SCM	STORMWATER OUTFALL, DTL 2, C&I

**PROJECT IMPERVIOUS SURFACE TABULATION (ISF)**

UNIT - PHASE	ROOF	DRIVE/ROAD	PATIO/SIDEWALK	TOTAL IMP.	DECK (PERV.)
A1 - 1	1383	192	158	1733	
A2 - 1	1383	191	158	1733	
A3 - 1	1383	191	158	1733	
A4 - 1	1383	191	158	1733	
A5 - 1	1383	191	158	1733	
A6 - 1	1383	191	158	1733	
A7 - 1	1383	191	158	1733	
A8 - 1	1383	191	158	1733	
A9 - 1	1383	221	158	1762	
A10 - 1	1383	234	158	1775	
B1 - 1	1619	572		2192	160
B2 - 1	1619	453		2073	152
B3 - 1	1605	309		1914	146
E1 - 1	1317	514	144	1975	
E2 - 1	1318	420	144	1882	
CON. AREA - 1			961	961	
UPPER RD. - 1		7351	1913	9264	
MID. RD. - 1		7203	3915	11119	
PHASE 1 TOTAL	21313	18808	8655	48776	437
C1 - 2	1400	310		1711	140
C2 - 2	1400	471		1871	140
D1 - 2	1400	498		1898	29
D2 - 2	1437	324		1761	45
E3 - 2	1269	471	144	1884	
E4 - 2	1269	498	144	1911	
E5 - 2	1269	500	144	1913	
E6 - 2	1269	498	144	1911	
E7 - 2	1269	500	144	1913	
E8 - 2	1269	484	144	1897	
LOW. RD. - 2		4128	2457	6585	
PHASE 2 TOTAL	13352	16637	3311	33300	354
PROJECT TOTAL	34665	35445	11966	82076	791

THESE PRELIMINARY IMPERVIOUS SURFACE AREAS ARE ACTUAL BASED ON THE PRELIMINARY PROJECT SITE DESIGN LAYOUT. IMPERVIOUS SURFACE AREAS AND ASSOCIATED MITIGATION WILL BE FINALIZED IN CONSTRUCTION DOCUMENT PHASE. THOSE FINAL NUMBERS WILL ALSO REPRESENT THE

**DMA & SCM AREAS**

DMA AREA	IMP. AREA	SCM AREA
DMA-A1	1733 SF	72 SF
DMA-A2	1733 SF	72 SF
DMA-A3	1733 SF	72 SF
DMA-A4	1733 SF	72 SF
DMA-A5	1733 SF	72 SF
DMA-A6	1733 SF	72 SF
DMA-A7	1733 SF	72 SF
DMA-A8	1733 SF	72 SF
DMA-A9	1733 SF	72 SF
DMA-A10	1775 SF	72 SF
DMA-B1	2192 SF	88 SF
DMA-B2	2073 SF	88 SF
DMA-B3	1914 SF	80 SF
DMA-C1	1711 SF	72 SF
DMA-C2	1871 SF	72 SF
DMA-D1	1896 SF	72 SF
DMA-D2	1761 SF	72 SF
DMA-E1(F)	608 SF	30 SF
DMA-E1(R)	804 SF	32 SF
DMA-E2(F)	600 SF	30 SF
DMA-E2(R)	802 SF	32 SF
DMA-E3(F)	630 SF	30 SF
DMA-E3(R)	836 SF	30 SF
DMA-E4(F)	1269 SF	60 SF
DMA-E4(R)	1269 SF	60 SF
DMA-E5(F)	1269 SF	60 SF
DMA-E5(R)	1269 SF	60 SF
DMA-E6(F)	1269 SF	60 SF
DMA-E6(R)	1269 SF	60 SF
DMA-E7(F)	1269 SF	60 SF
DMA-E7(R)	1269 SF	60 SF
DMA-E8(F)	1269 SF	60 SF
DMA-E8(R)	1269 SF	60 SF
DMA-UR	9264 SF	375 SF
DMA-LR	11119 SF	444 SF
DMA-LR	6585 SF	253 SF
TOTALS	70,117 SF	2,878 SF

**ALTERNATE DMA & SCM AREA**

DMA AREA	IMP. AREA	SCM AREA
DMA	70,117 SF	2,805 SF

NOT FOR CONSTRUCTION

**PRELIMINARY STORMWATER CONTROL PLAN**

**LOCATELLI SUBDIVISION**

APN 029-391-02, 03  
& APN 029-061-19  
DESIGN DEVELOPMENT PHASE  
DATE: 1/10/2023  
DRAWN: DD  
CHECK: DD  
SHEET: C6.0  
JOB NO. 13001.01

Exhibit E





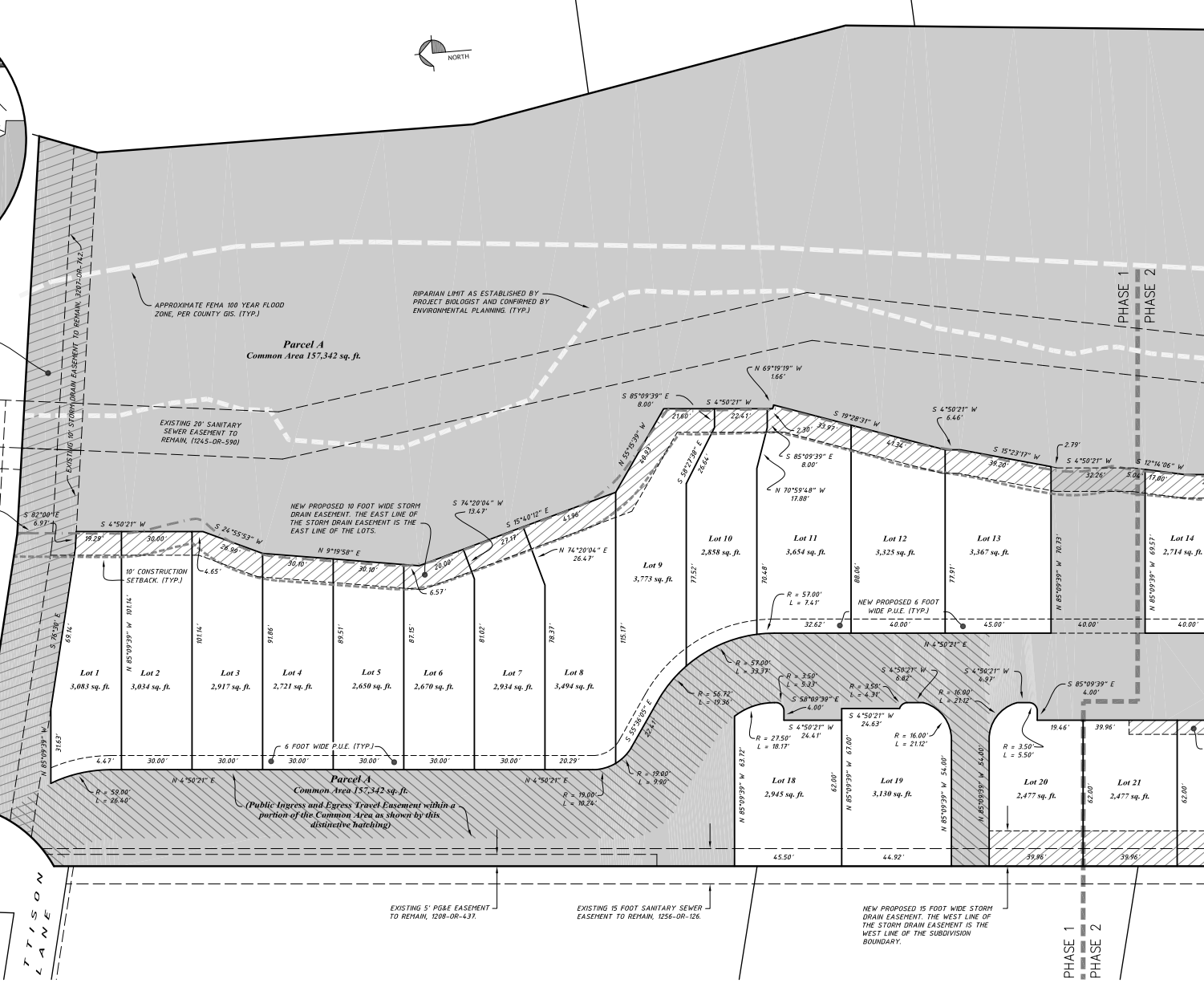
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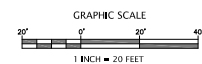
**WWW.STRUCTURALDESIGN.CO.UK**  
**DESIGNING STRUCTURAL DESIGN**







Sheet 2 of 3 sheets. (See sheet 3 for project data.)





Sheet 3 of 3 sheets.

The basis of bearing for this map is N 6° 45' E as re-established between found monuments on the east line of Parcel B, Volume 074 of Maps, Page 38, Santa Cruz County Records, and as show on this map.



		REVISION APPROVED <i>Paul Hangan</i> Paul Hangan LS 7797	
TENTATIVE SUBDIVISION MAP <b>Locatelli Subdivision</b> HATHISON LANE, SANTA CRUZ, CA, 95062		<b>HANAGAN LAND SURVEYING</b> 3036C BIQUEUE AVE. SANTA CRUZ, CA 95062 PHONE (831) 469-3488	
SHEET <b>TM-3</b> OF 3 SHEETS JOB NO. 12033		Santa Cruz County A.P.N. 029-391-01, 02, 03, 029-001-19 DATE 1-22-2021 REGION BRAWN P. Hangan SCALE 1" = 20' SCALE 1" = 20'	

**LOCATELLI SUBDIVISION**  
MATTISON LANE, SANTA CRUZ COUNTY, CA

TOTAL PARKING	52	40	40	14
REQD GUEST PARKING (20%)	=	10.4		
PARKING REQUIRED	52 + 10.4	=	63	
PARKING PROVIDED	(40 + 40 + 14)	=	94	



DRAWING DATE  
MAY, 2018  
REV. FEB. 2023  
REV. DEC. 2023

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ISSUED TO FACILITATE  
CONSTRUCTION:  
DATE PENDING

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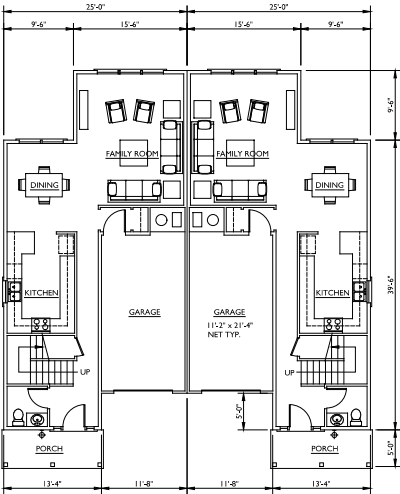
PROJECT FILE NAME:  
SWIFT LOCATELLI

PRELIMINARY  
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CONSTRUCTION

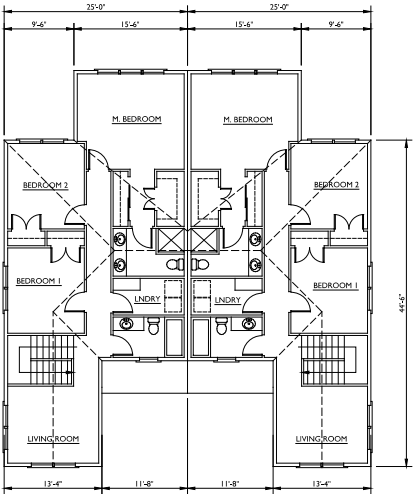
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# AI

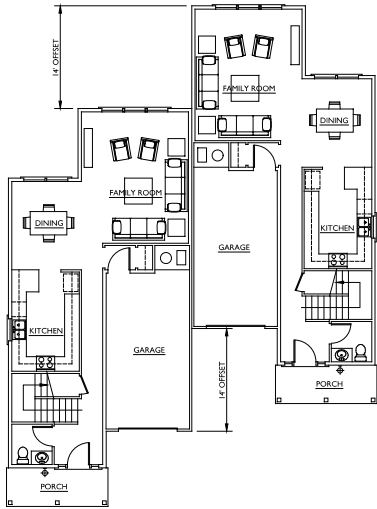
## Exhibit E



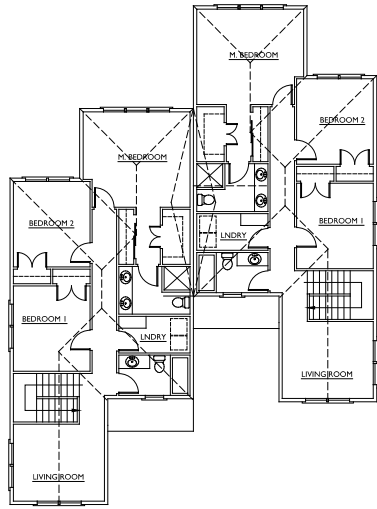
1 A1 & A2 FIRST FLOOR  
SCALE: 1/8"=1'-0"



2 A1 & A2 SECOND FLOOR  
SCALE: 1/8"=1'-0"



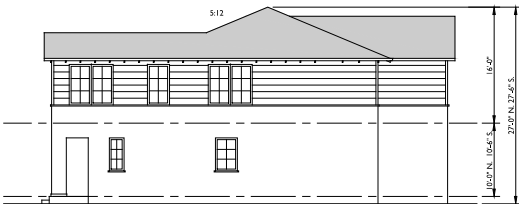
3 A9 & 10 FIRST FLOOR  
SCALE: 1/8"=1'-0"



4 A9 & 10 SECOND FLOOR  
SCALE: 1/8"=1'-0"



5 A1 & A2 WEST ELEVATION  
SCALE: 1/8"=1'-0"



6 A2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"  
NORTH ELEV. IS MIRRORED



7 A1 & A2 EAST ELEVATION  
SCALE: 1/8"=1'-0"



8 A9 & A10 WEST ELEVATION  
SCALE: 1/8"=1'-0"



9 A10 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



10 A10 & A9 EAST ELEVATION  
SCALE: 1/8"=1'-0"

FIRST FLOOR:	798 SF
GARAGE:	278 SF
PORCH:	67 SF
SECOND FLOOR:	1,026 SF



LOCATELLI SUBDIVISION  
HATTISON LANE, SANTA CRUZ COUNTY, CA  
UNIT A PLANS & ELEVATIONS

DRAWING DATE: MAY 2018  
REV. FEB. 2023  
REV. DEC. 2023  
ISSUED TO FACILITATE CONSTRUCTION  
DATE PENDING  
PROJECT FILE NAME: SWIFT LOCATELLI

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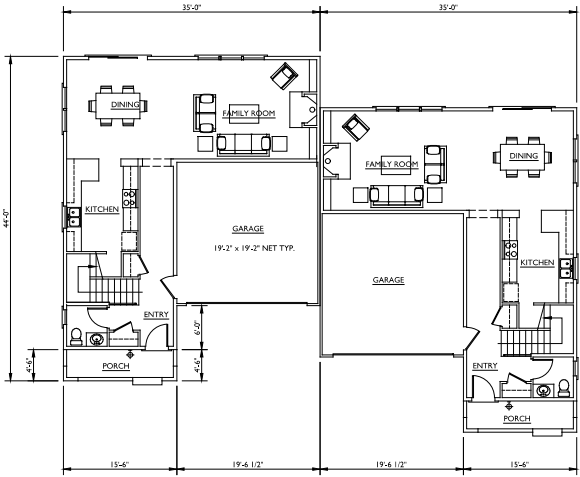
THACHER &  
THOMPSON  
ARCHITECTS  
215 OREGON STREET  
SANTA CRUZ, CA 95060  
(831) 564-0075

LOCATELLI SUBDIVISION  
HATTISON LANE, SANTA CRUZ COUNTY, CA  
UNIT B PLANS & ELEVATIONS

DRAWING DATE: MAY 2018  
REV. FEB. 2023  
REV. DEC. 2023  
ISSUED TO FACILITATE  
CONSTRUCTION  
DATE PENDING  
PROJECT FILE NAME:  
SWIFT LOCATELLI

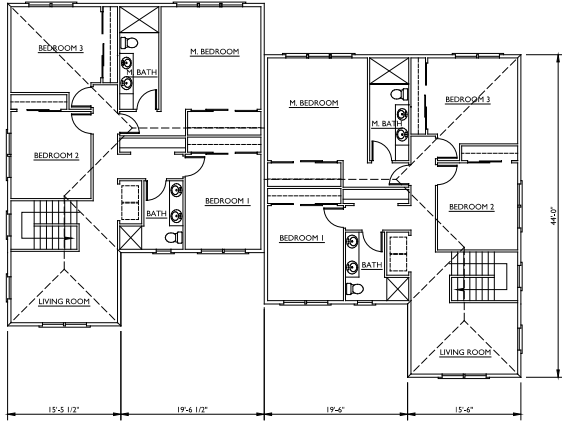
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1 B1 FIRST FLOOR  
SCALE: 1/8"=1'-0"

2 B2 FIRST FLOOR  
SCALE: 1/8"=1'-0"



3 B1 SECOND FLOOR  
SCALE: 1/8"=1'-0"

4 B2 SECOND FLOOR  
SCALE: 1/8"=1'-0"



5 B2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

FIRST FLOOR: 891 SF  
GARAGE: 391 SF  
PORCH: 62 SF  
SECOND FLOOR: 1,100 SF



6 B1 WEST ELEVATION  
SCALE: 1/8"=1'-0"

7 B2 WEST ELEVATION  
SCALE: 1/8"=1'-0"



8 B2 EAST ELEVATION  
SCALE: 1/8"=1'-0"

9 B1 EAST ELEVATION  
SCALE: 1/8"=1'-0"



10 B1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



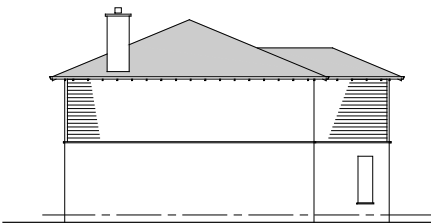
11 B3 WEST ELEVATION  
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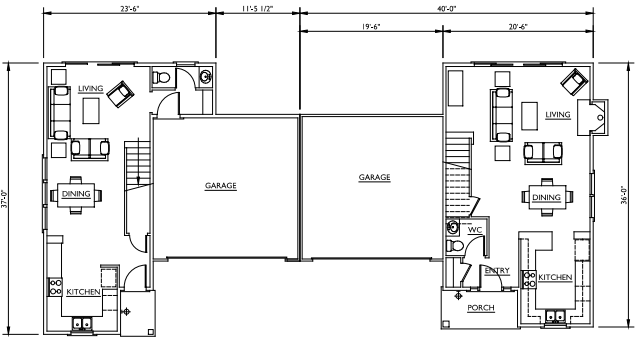
12 B3 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



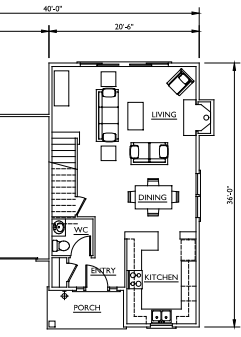
13 B3 EAST ELEVATION  
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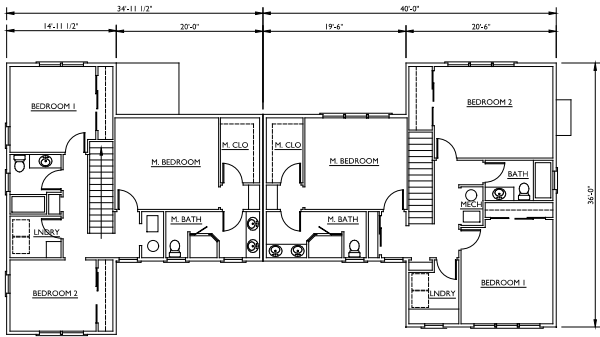
14 B3 NORTH ELEVATION  
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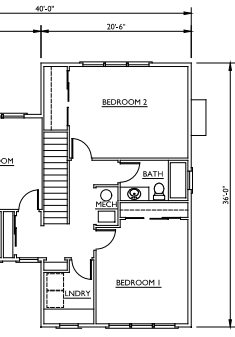
1 E9 FIRST FLOOR  
SCALE: 1/8"=1'-0"



2 C1 FIRST FLOOR  
SCALE: 1/8"=1'-0"

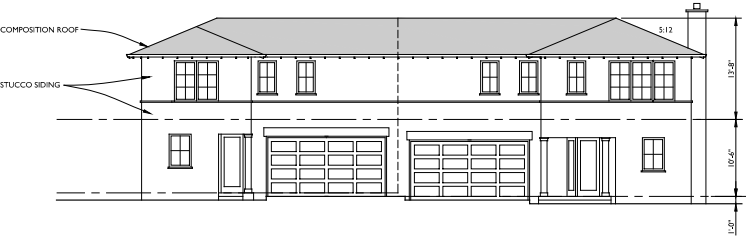


3 E9 SECOND FLOOR  
SCALE: 1/8"=1'-0"



4 C1 SECOND FLOOR  
SCALE: 1/8"=1'-0"

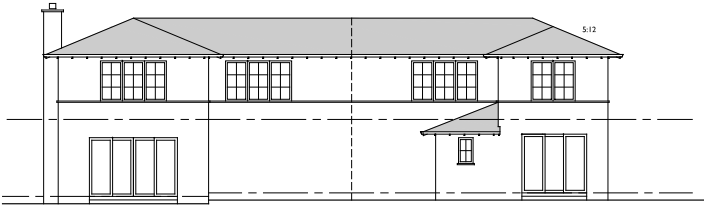
UNIT C1	
FIRST FLOOR:	693 SF
GARAGE:	394 SF
PORCH:	51 SF
SECOND FLOOR:	1,085 SF
UNIT E9	
FIRST FLOOR:	584 SF
GARAGE:	394 SF
PORCH:	51 SF
SECOND FLOOR:	913 SF



5 E9 & C1 WEST ELEVATION  
SCALE: 1/8"=1'-0"



6 C1 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



7 C1 & E9 EAST ELEVATION  
SCALE: 1/8"=1'-0"

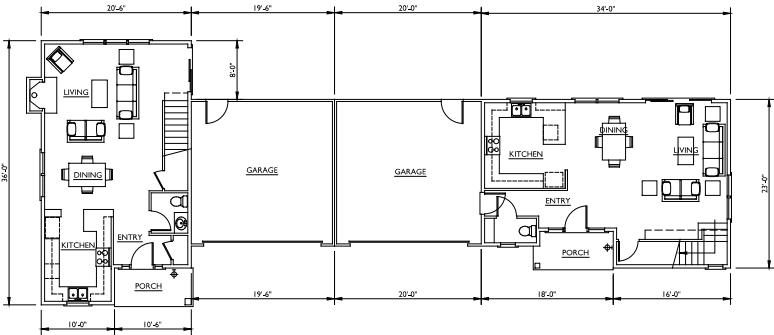
LOCATELLI SUBDIVISION  
HATTISON LANE, SANTA CRUZ COUNTY, CA  
UNIT C PLANS & ELEVATIONS

DRAWING DATE  
MAY, 2018  
REV. FEB, 2023  
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PROJECT FILE NAME:  
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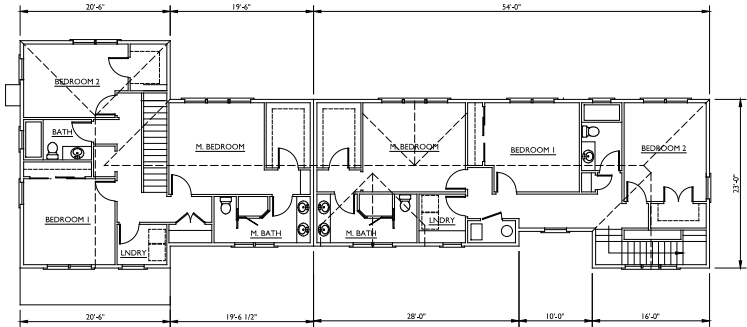
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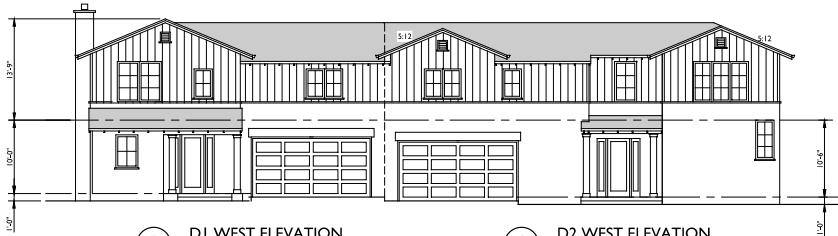
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2 D2 FIRST FLOOR  
SCALE: 1/8"=1'-0"



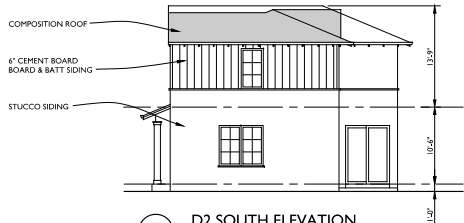
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SCALE: 1/8"=1'-0"

4 D2 SECOND FLOOR  
SCALE: 1/8"=1'-0"



5 D1 WEST ELEVATION  
SCALE: 1/8"=1'-0"

6 D2 WEST ELEVATION  
SCALE: 1/8"=1'-0"

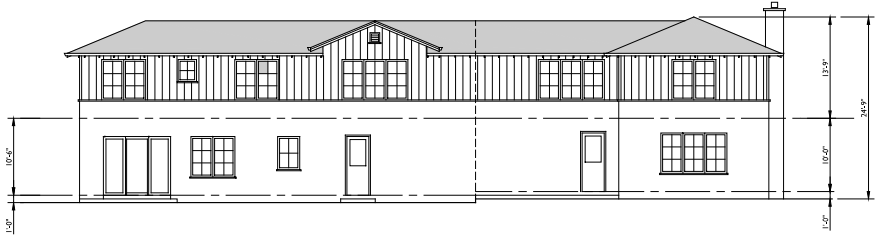


7 D2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

UNIT D1	
FIRST FLOOR:	694 SF
GARAGE:	391 SF
PORCH:	53 SF
SECOND FLOOR:	980 SF

UNIT D2	
FIRST FLOOR:	708 SF
GARAGE:	391 SF
PORCH:	53 SF
SECOND FLOOR:	1,025 SF



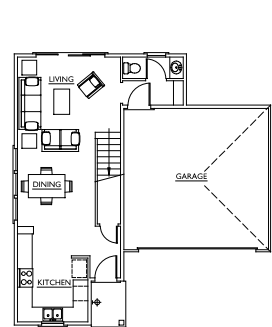
8 D2 EAST ELEVATION  
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9 D1 EAST ELEVATION  
SCALE: 1/8"=1'-0"

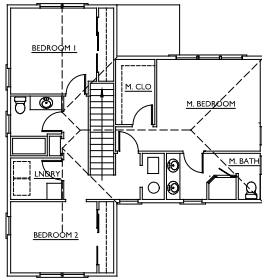


10 D1 NORTH ELEVATION  
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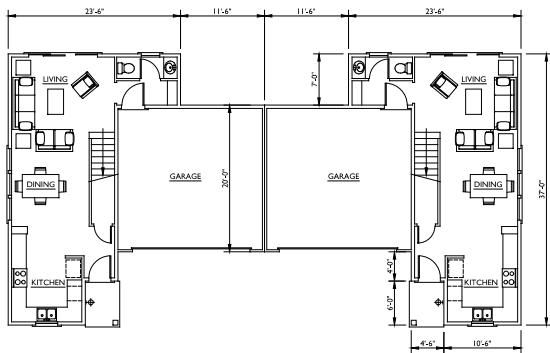




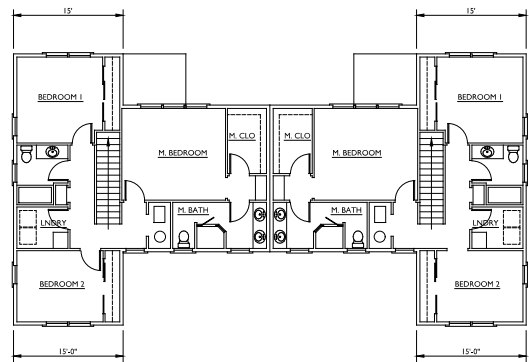
1 E1 FIRST FLOOR E2 IS MIRRORED  
SCALE: 1/8"=1'-0"



2 E1 SECOND FLOOR E2 IS MIRRORED  
SCALE: 1/8"=1'-0"



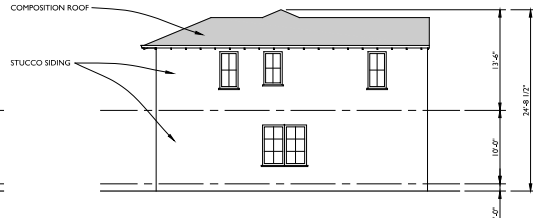
3 E3 - E8 FIRST FLOOR  
SCALE: 1/8"=1'-0"



4 E3 - E8 SECOND FLOOR  
SCALE: 1/8"=1'-0"



5 E3 - E8 EAST ELEVATION  
SCALE: 1/8"=1'-0"



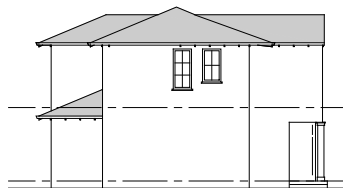
6 E1 - E8 SOUTH ELEVATION NORTH ELEVATION IS MIRRORED  
SCALE: 1/8"=1'-0"

FIRST FLOOR: 584 SF  
GARAGE: 403 SF  
PORCH: 27 SF  
SECOND FLOOR: 913 SF

DRAWING DATE: MAY, 2018  
REV. FEB. 2023  
REV. DEC. 2023  
ISSUED TO FACILITATE CONSTRUCTION  
DATE PENDING  
PROJECT FILE NAME: SWIFT LOCATELLI



7 E3 - E8 WEST ELEVATION  
SCALE: 1/8"=1'-0"



8 E1 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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A WEST ELEVATION  
SCALE: 1/8"=1'-0"



D WEST ELEVATION  
SCALE: 1/8"=1'-0"

COLOR SERIES #1

UNITS: A1, A6, B3, C2, E3

STUCCO SIDING

Sherwin Williams Paint

Color: STRAW HARVEST (SW 7638)

FIBERCEMENT SIDING

Sherwin Williams Paint

Color: MUSLIN (SW 6333)

ROOF EDGE + DETAIL + TRIM


Sherwin Williams Paint

Color: RURAL GREEN (SW 5438)

ROOF SHINGLES

TIMBERLINE COOL SERIES

COLOR: WEATHERED WOOD



LOCATELLI MATTHESON LANE, SANTA CRUZ CA  
THACHER & THOMPSON ARCHITECTS

COLOR SERIES #2

UNITS: A2, A7, B2, D3, E4

STUCCO SIDING

Sherwin Williams Paint

Color: NATURAL (SW 7542)

FIBERCEMENT SIDING

Sherwin Williams Paint

Color: CLASSIC LIGHT BUFF (SW 0050)

ROOF EDGE + DETAIL + TRIM


Sherwin Williams Paint

Color: SEALSTON (SW 7675)

ROOF SHINGLES

TIMBERLINE COOL SERIES

COLOR: WEATHERED WOOD



LOCATELLI MATTHESON LANE, SANTA CRUZ CA  
THACHER & THOMPSON ARCHITECTS

COLOR SERIES #3

UNITS: A3, A8, B3, D2, E3

STUCCO SIDING

Sherwin Williams Paint

Color: COTTAGE CREAM (SW 7618)

FIBERCEMENT SIDING

Sherwin Williams Paint

Color: DOVER WHITE (SW 6385)

ROOF EDGE + DETAIL + TRIM


Sherwin Williams Paint

Color: DISTANCE (SW 2213)

ROOF SHINGLES

TIMBERLINE COOL SERIES

COLOR: WEATHERED WOOD



LOCATELLI MATTHESON LANE, SANTA CRUZ CA  
THACHER & THOMPSON ARCHITECTS

COLOR SERIES #4

UNITS: A4, A9, B4, E1, E6

STUCCO SIDING

Sherwin Williams Paint

Color: RELAXED KHAKI (SW 6149)

FIBERCEMENT SIDING

Sherwin Williams Paint

Color: SHILOH WHITE (SW 7042)

ROOF EDGE + DETAIL + TRIM


Sherwin Williams Paint

Color: HORSACK (SW 6139)

ROOF SHINGLES

TIMBERLINE COOL SERIES

COLOR: WEATHERED WOOD



LOCATELLI MATTHESON LANE, SANTA CRUZ CA  
THACHER & THOMPSON ARCHITECTS

COLOR SERIES #5

UNITS: A5, A10, C3, E2, E7

STUCCO SIDING

Sherwin Williams Paint

Color: POTTERY URN (SW 7715)

FIBERCEMENT SIDING

Sherwin Williams Paint

Color: FRESCO CREAM (SW 7719)

ROOF EDGE + DETAIL + TRIM


Sherwin Williams Paint

Color: CARNELIAN (SW 7580)

ROOF SHINGLES

TIMBERLINE COOL SERIES

COLOR: WEATHERED WOOD



LOCATELLI MATTHESON LANE, SANTA CRUZ CA  
THACHER & THOMPSON ARCHITECTS

Plant Palette

KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
PC	6	15	Pistacia chinensis Keith Davis	Chinese Pistache
LI	1	15	Lagerstroemia indica Tuscadero	Crape Myrtle
GB	1	15	Grewia skadoi Tamont	Ginkgo

TALL SHRUBS				
DO	5		Dodonaea viscosa	Hopbush
YC	5		Xylocarpus molle	Xylocarpus

SHRUBS				
N	5		Nandina Gulf Stream	Myrtle
GV	5		Grewia indica	Fortnight Lily
WF	5		Westringia Menziesii light or compacta	Compact Westringia
AP	5		Archirostaphylos Pacific Mist	Marsdenia
BM	5		Rhaphiophyllum minor	India Hawthorne

VINES				
B	5		White Lady Banksia Rose trained on fence as vine	

GROUND COVERS				
AN	1		Argemone pinnatifida	Kangaroo Paw
K	1		Knapfield hybrid Bee's Sunset	Red Hot Poker
SL	1		Salvia leucantha	Mexican Sage
LI	1		Callistemon luteus	Compact Bottle Brush
LP	1		Leucophaea	Sea Star
W	1		Lavandula Wings of Night	
T	1		Teucrium chamaedrys	
LB	1		Lamium	
S	1		Santhalia virens	Green Lavender Cotton
LM	1		Lantana montevidensis purple	
LT	1		Leucosiphon	Low Rosemary
BF	1		Boraginaceae	Med. Rosemary
D	1		Dianthus barbatus	Succulent
CA	1		Ceanothus	Jade Plant

RAINGARDENS				
J	4	OC	Juncus patens Elk Blue	CA Gray Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush
C	4	OC	Chorizanthe	Small Cape Rush

Plant Palette

KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
GA	1	g	Quercus agrifolia	Coast Live Oak
W	1	g	Wrightia	

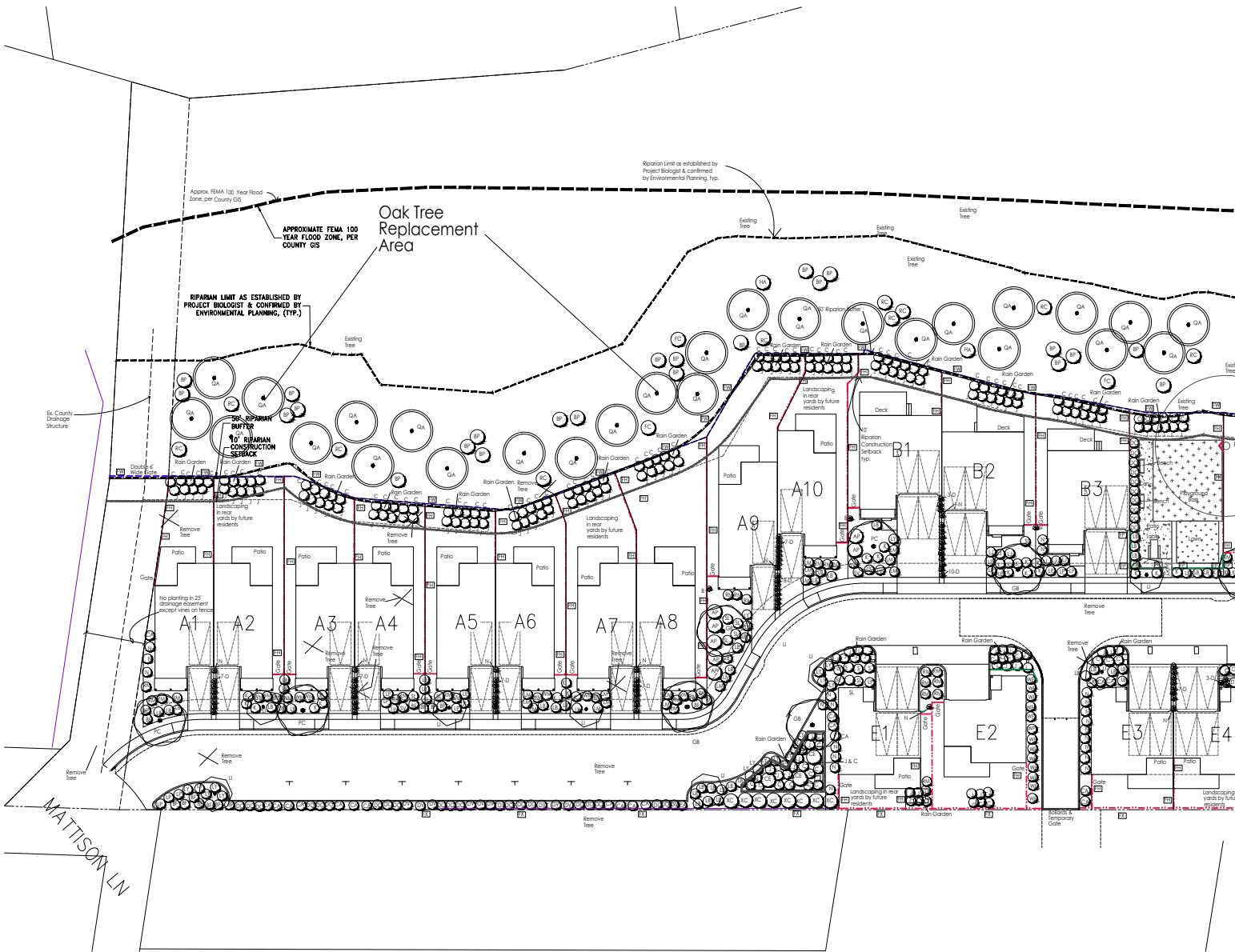
SHRUBS AND GROUNDCOVERS				
HA	1	g	Hebe	Toyon
RC	1	g	Rosa californica	CA Rose
PC	1	g	Pistacia chinensis	Coffeeberry
BP	1	g	Baccharis pilularis	Coyote Bush
I	1	g	Isoplexis	Native Iris
W	1	g	Wrightia	Native Willow

Erosion Control Seeding

Install on all bare areas in Riparian Woodland and Oak Woodland Areas	
16 lbs/acre	Bromus carinatus
16 lbs/acre	Elymus glaucus
16 lbs/acre	Perovskia
16 lbs/acre	Trifolium
16 lbs/acre	Stellaria

Fence Legend

- 1. 4 foot high solid wood fence - repair or replace as required with matching fence
- 2. 4 foot high solid wood fence for privacy - 4x4 PT posts 8 feet OC, 1x6 vert. rough redwood overlapping and optional 1 inch high lattice
- 3. 3 foot high two rail fence of 3" Riparian Buffer Line to protect revegetation area - 4x4 PT posts 8 feet OC, 2x4 rough redwood or P.T. 8x8 rails on edge
- 4. 3 foot high fence with gate of edge of common area park - 4x4 PT posts 6 feet OC with horiz. 1x6 on edge and 3 inch spaces between them



Plant Palette

KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
PC	6	15	Palicourea chinensis Keith Davis	Chinese Paloche
IL	1	15	Lagerstroemia indica Tuscadero	Crape Myrtle
GB	1	15	Ginkgo biloba Farnum	Ginkgo
TALL SHRUBS				
DO	5		Dodonaea viscosa	Hopbush Bush
VC	5		Xylocarpus gmelini	Xylocarpus
SHRUBS				
N	5		Nandina Gulf Stream	Mistle
DV	5		Dieris indica	Compact Mistle
WE	5		Westringera indica Light or compact	Compact Mistle
AP	5		Archibutea indica Pacific West	Mammoth
RM	5		Rhododendron minor	Indio Hawthorne
VINES				
B	5		White Lady Banks Rose trained on fence as vine	

GROUND COVERS				
AN	1		Anagallis foens	Kangaroo Paw
K	1		Kalimeris hybrid Bee's Sunset	Red Hot Poker
SL	1		Salvia leucantha	Mexican Sage
LI	1		Leptosiphon Little John	Compact Bottle Brush
LP	1		Leptosiphon perist	Sea Star
W	1		Lavandula Wings of Night	
T	1		Teucrium chamaedrys	Green Lavender Cotton
LB	1		Lamium bicolor	
S	1		Santolus virens	
LUA	1		Lantana montevidensis purple	Low Rosemary
LY	1		Romarinus Huntington Carpet	Med. Rosemary
BF	1		Romarinus Calligwood Ingram	Succulent
D	1		Asplenium urticum Dinner Platter	
CA	1		Cassia ovata	
RAIN GARDENS				
J	4	OC	Juncus patens BK Blue	CA Gray Rush
C	4	OC	Chorizanthe leucantha	Small Cape Rush
CE	4	OC	Chorizanthe leucantha	Small Cape Rush
CE	4	OC	Chorizanthe leucantha	Small Cape Rush

Plant Palette

KEY	QTY	SIZE	BOTANICAL NAME	APPROX. SPACING	COMMON NAME
TREES					
GA	1	gal	Quercus agrifolia	20'	Coast Live Oak

Plant Palette

KEY	QTY	SIZE	BOTANICAL NAME	APPROX. SPACING	COMMON NAME
TREES					
GA	1	gal	Quercus agrifolia	20'	Coast Live Oak

SHRUBS AND GROUND COVERS					
HA	1	gal	Heteromera obtusifolia	6'	Toyon
RC	1	gal	Rosa californica	6'	CA Rose
RC	1	gal	Rosa californica	6'	Coffeetree
BP	1	gal	Baccharis pilularis	6'	Coville Bush
I	1	gal	Isotria medeoloides	4'	Native Iris
W	1	gal	Willow from site	2'	Native Willow

Erosion Control Seeding

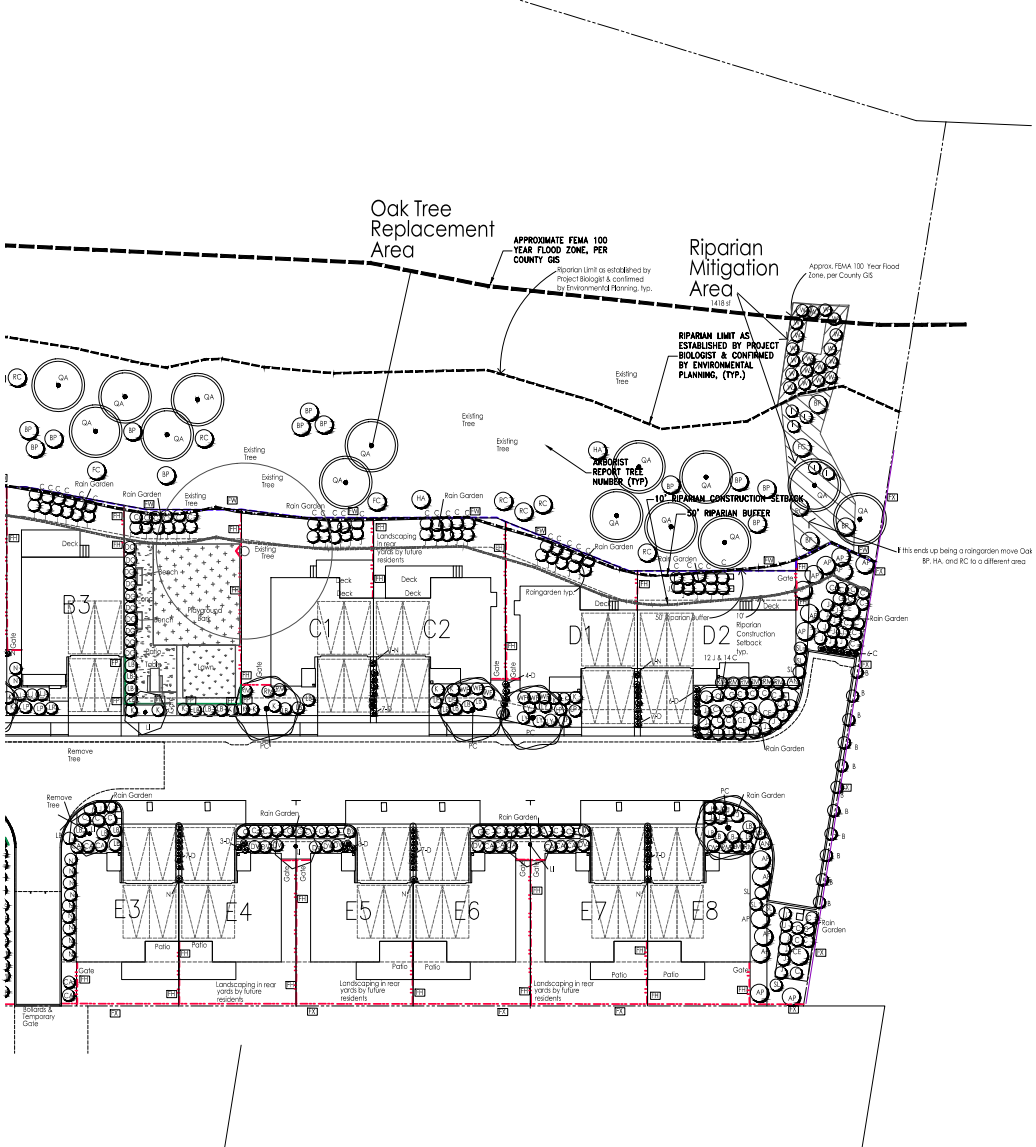
KEY	QTY	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
14 lbs./acre			Bromus carinatus	California Brome
14 lbs./acre			Bromus glaucus	Blue Wild Rye
10 lbs./acre			Poa occidentalis	Western Fescue
4 lbs./acre			Stellaria media	Tomcat Clover
10 lbs./acre			Stellaria media	Tomcat Clover

Fence Legend

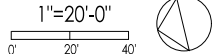
1	Existing solid wood fence - repair or replace as required with matching fence
2	6 foot high solid wood fence for privacy - 4x4 PT posts 8 feet OC, 1x6 vert. rough redwood overcapping and optional - 1 foot high lattice
3	3 foot high two rail fence of 5" Riparian Buffer Line to protect revegetation area - 4x4 PT posts 8 feet OC, 2x4 rough redwood or PT, 1x6 rail on edge
4	3 foot high fence with gate at edge of common area park - 4x4 PT posts 6 feet OC with lattice, 1x6 on edge and 3 inch spaces between them

Landscape Notes

- Final construction drawings to include Detailed Irrigation Plan, Detail, and Specifications that meet the requirements of the Santa Cruz Water Dept.
- Location of plants on site to be adjusted so as to best coordinate with sprinkler head locations, lights, drainage features, and swales.
- Use 3" deep top dress mulch in areas with shrubs and trees in new shrub area that are not in the Riparian Woodland revegetation areas. Provide cover with different mulch samples and prices including mulched redwood sawdust and Vision Recycling Wonder Mulch mulch (dark brown) color. Bid the Wonder Mulch.
- Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle labeled less than 8" wide is 5 gal size and any circle labeled larger is 24" box size.
- The plan is schematic. Don't install plants too close to edges of parking or buildings. Be sure plants are not blocking sprinkler spray excessively. Keep valves and hostiles away from trees.
- See specs. concerning soil amendments and fertilizers. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of mulched redwood sawdust and 14 pounds of 15-10-10 fertilizer per 1000 sq ft spread into the top 6" to 8" of soil after spreading to 12" deep, except under existing tree canopies. In Riparian Woodland area, in Oak Woodland areas or on steep slopes.
- For plants that are to be removed, get rid of any stumps or roots that would keep new plants from growing well.
- Read and follow the arborist report by the project arborist for tree protection and installing new Oaks. Project arborist is \_\_\_\_\_.
- Read and follow the Botanic Report by Botanic Resources Group - Kathy Lyons (831) 478-4033 aglyons@brg.com
- Planting and irrigation in fenced rear yards is to be done by future owner/occupants.
- Front yards, common landscape areas. Riparian Woodland areas are to be maintained by the HOA and professional landscape maintenance company.



Planting Plan



Revision

12/5/22  
2/16/23  
10/10/23

GREGORY LEWIS LANDSCAPE ARCHITECT

42736  
238 Park Way, Santa Cruz, CA 95060 (831) 355-9460  
lewislanscap@greglewis.net

Locatelli Subdivision

Marlison Lane, Santa Cruz, CA

APN 029-391-01.02.03 & APN 029-561-019

Date

10/19/23

Scale

As Noted

Drawn

Gmp

Rev


1

L2

of 6



1"=20'-0"



A horizontal scale bar with a vertical tick mark at the 20-foot point. The labels 0', 20', and 40' are positioned below the bar.







### Certificate Of Completion

Envelope Id: BCAECCEE-A738-427A-85C2-E22377A31881	Status: Completed
Subject: Complete with Docusign: PUD Ordinance 221077 with Exhibit E.pdf	
Source Envelope:	
Document Pages: 35	Signatures: 1
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Jonathan DiSalvo
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	701 Ocean Street
	Santa Cruz, CA 95060
	Jonathan.DiSalvo@santacruzcountyca.gov
	IP Address: 63.194.190.100

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 Natalie.Kirkish@santacruzcountyca.gov  
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Signed by:  
  
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Signature Adoption: Pre-selected Style  
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Sent: 1/24/2025 10:14:44 AM  
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 Signed: 1/24/2025 10:29:42 AM

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 Accepted: 8/1/2024 2:49:37 PM  
 ID: b763e46b-8c75-436f-b147-3f5717480ab2

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	1/24/2025 10:14:44 AM
Certified Delivered	Security Checked	1/24/2025 10:29:25 AM
Signing Complete	Security Checked	1/24/2025 10:29:42 AM
Completed	Security Checked	1/24/2025 10:29:42 AM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		



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